

May 12, 2025

Rural Enclaves Study: Oak Hollow Community Workshop #2



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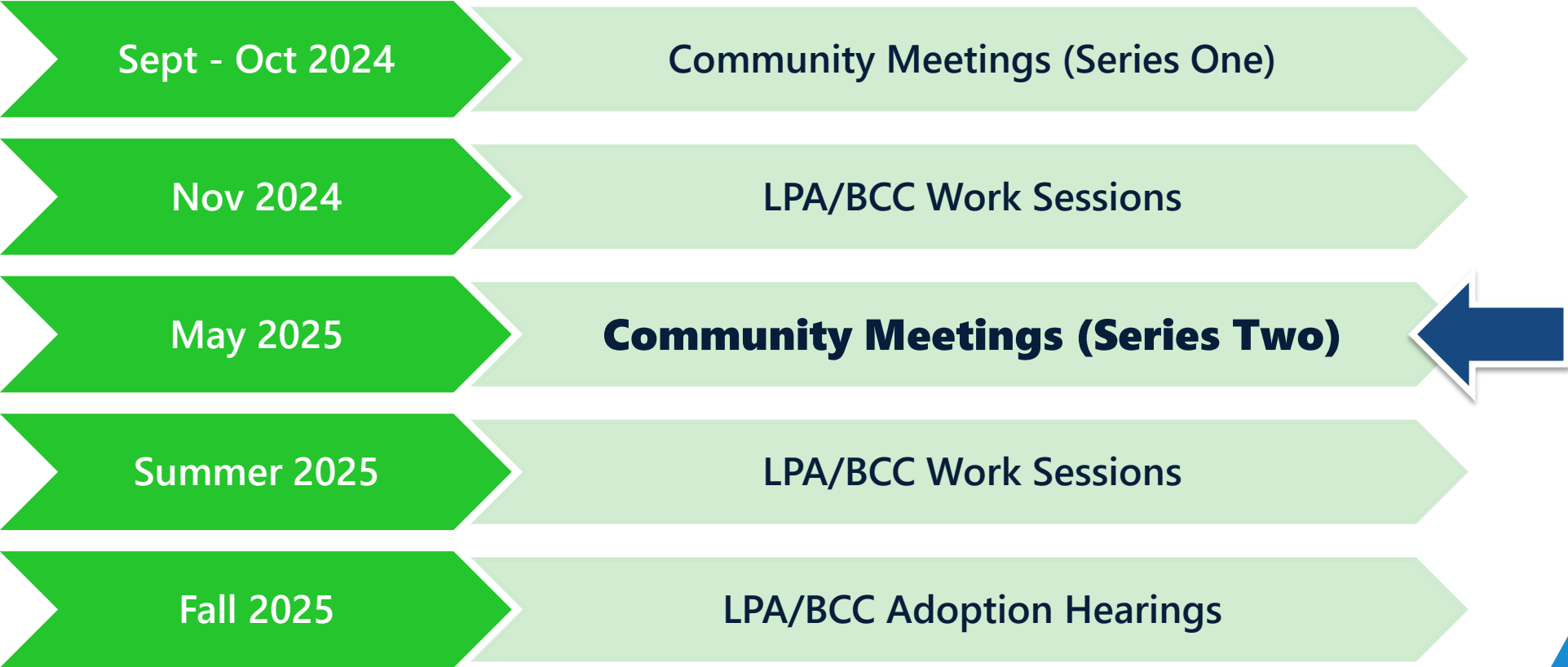
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Introductions

- County Staff
- Consultant Team

Anticipated Project Timeline



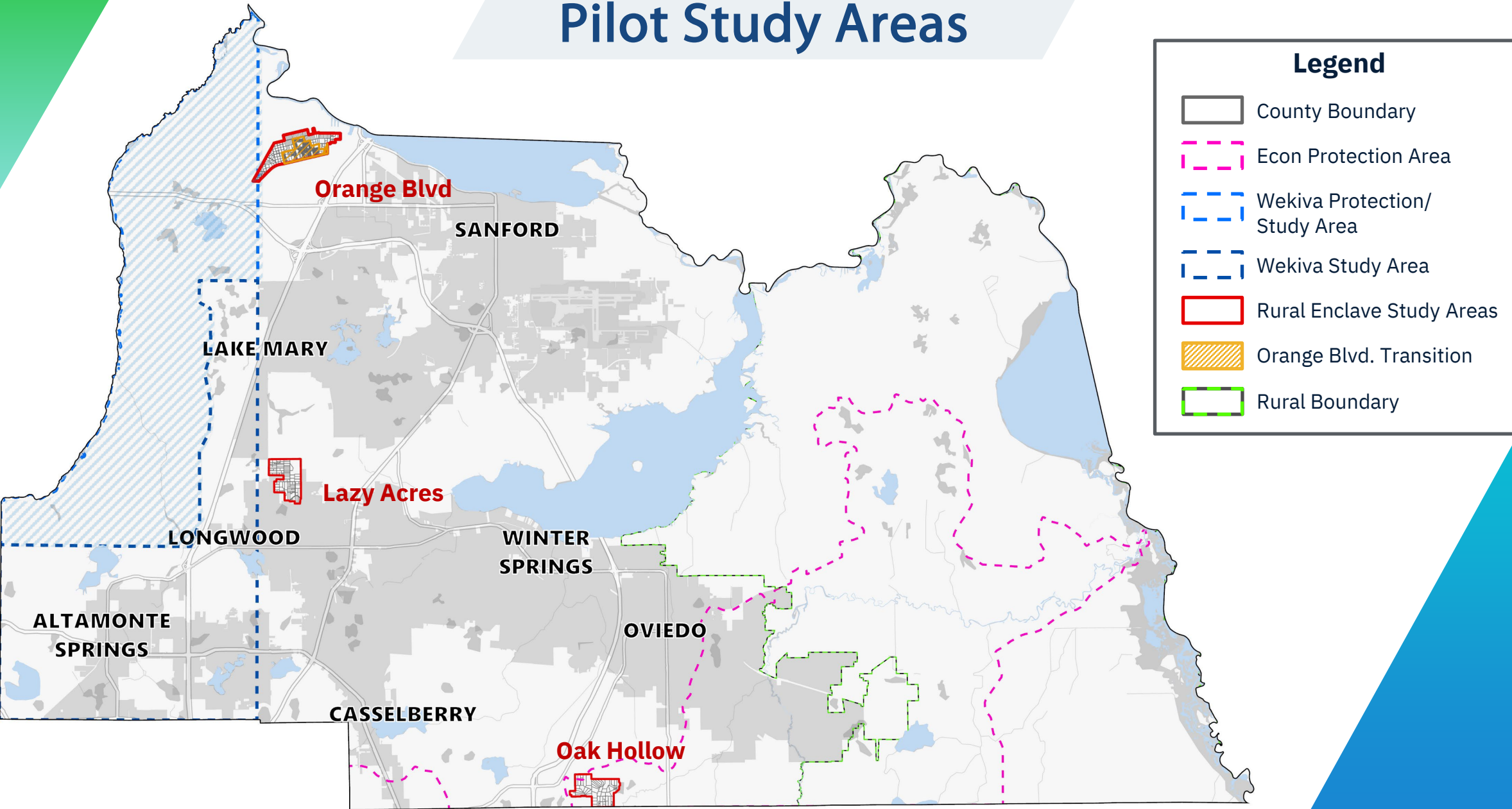
Overview

- Meeting Purpose and Objectives
- Study Background and Goals Refresher
- Key Survey Findings
- Recommended Policies & Standards
- Feedback Exercises
 - Interactive Polls
 - Map/Board Exercise
- Q&A

Meeting Purpose and Objectives

- Review key insights gathered throughout the study
- Evaluate proposed policy ideas
- Validate the policy direction
- Gather insights for implementation and adoption

Pilot Study Areas



Updated Study Area

Legend

Oak Hollow Rural Enclave

Orange County

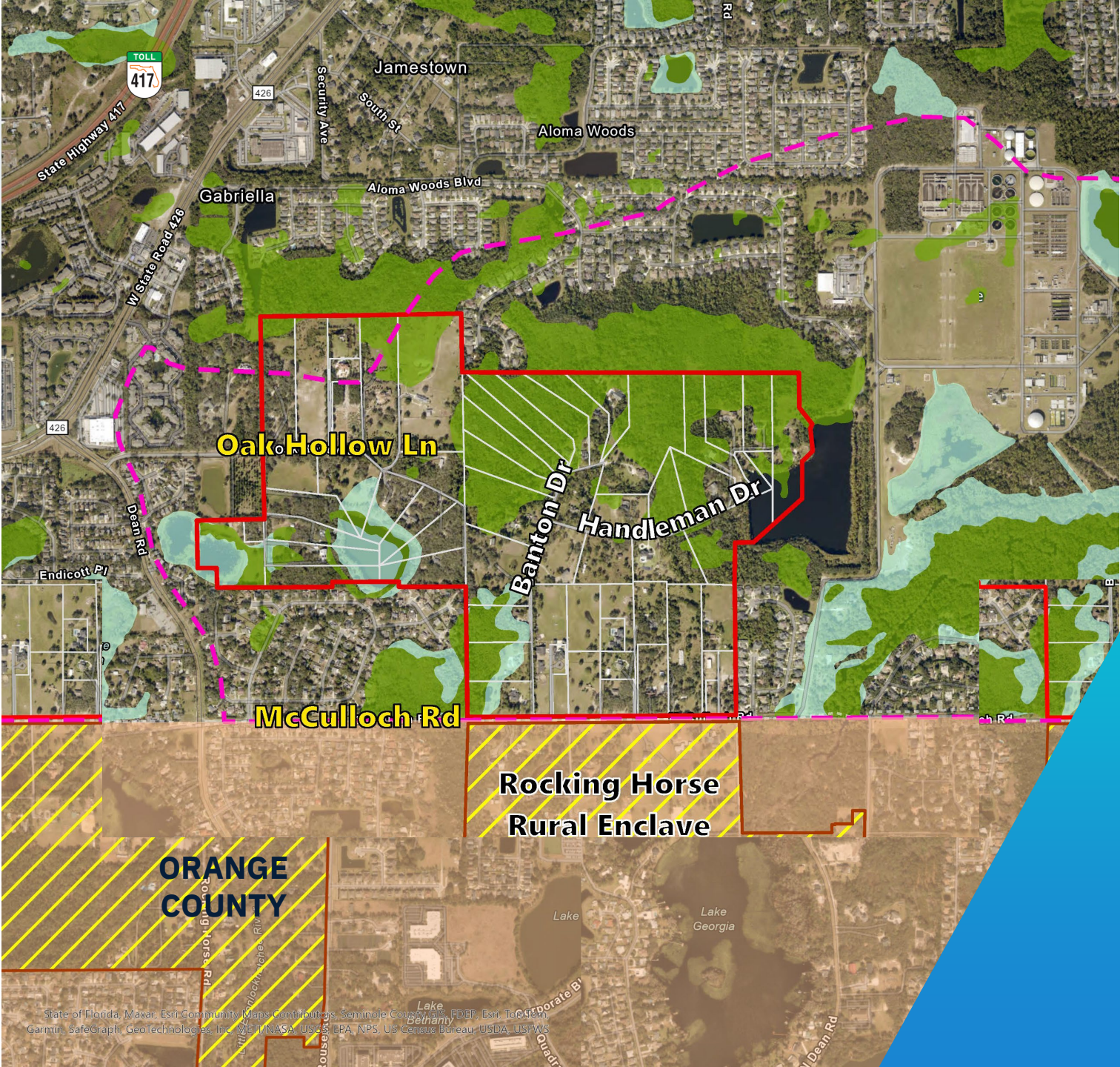
Environmentally Sensitive Lands

100 Year Floodplain

Wetlands

Protection Areas

Econ Protection Area



Study Background

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Background:

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■ Rural Strategy 3 and Comprehensive Plan Policy: Preserve Rural Enclaves

Goal

Maintain
Lifestyles Preferences
of Current Residents

Limit
Need for Expansion of
Urban Services

Key Points

Preserve:

1. Large Lots
2. Community Identity
3. Natural Buffers

Comprehensive Plan

Policy FLU 3.1.3: Recognition of Rural Enclaves

■ Designation Criteria - *several must be met*

1. Large residential lots with Ag zoning within the Urban Service Area
2. Contiguous, identifiable community
3. Majority of properties are owner-occupied
4. Majority of property owners are in favor of rural enclave designation
5. Limit of public infrastructure such as paved roads or sewer access
6. Borders a conservation area

Oak Hollow Existing Conditions

- Future Land Use District: LDR – 4 units per Acre
- Current Zoning: A-1 – 1 Acre minimum lot size
- Agricultural and Single-Family residential uses permitted
- Private roads serving internal lots
- Predominantly Septic Users



Feedback from the First Community Meeting

- Majority support (80%) for rural enclaves concept
- Some opt-out requests
- Keep roads unpaved
- Flooding concerns
- Minimum 5-acre Lots
- Prefer larger setbacks
- Support split rail fencing requirement



Survey Results

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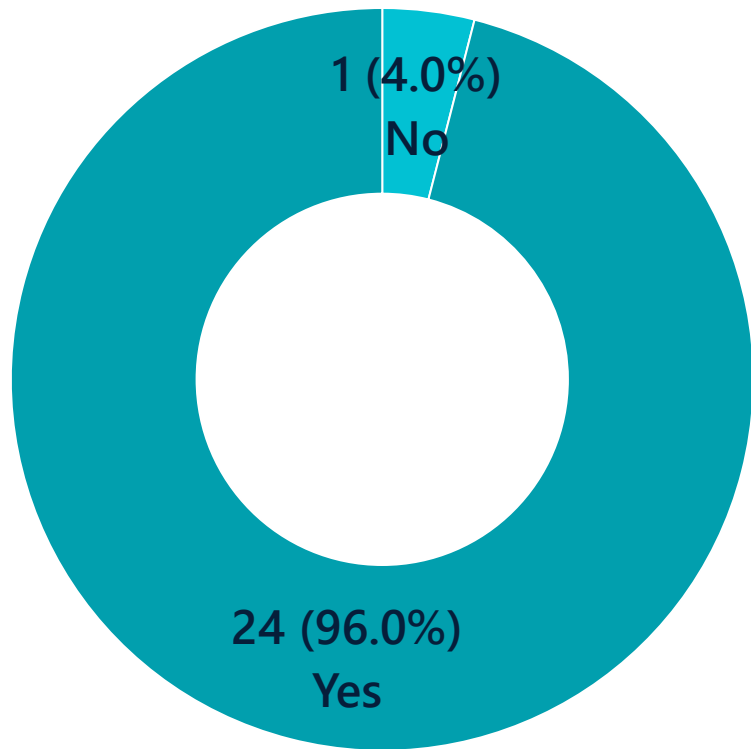
Quick Poll

Did you participate in the Survey?

Survey Overview

- 63 total properties within the study area
- 25 responses to the survey (40% of properties)
 - 25 property owners responded
 - None from outside the study area
- Distributed survey link to residents online and by mail
February through March 2025

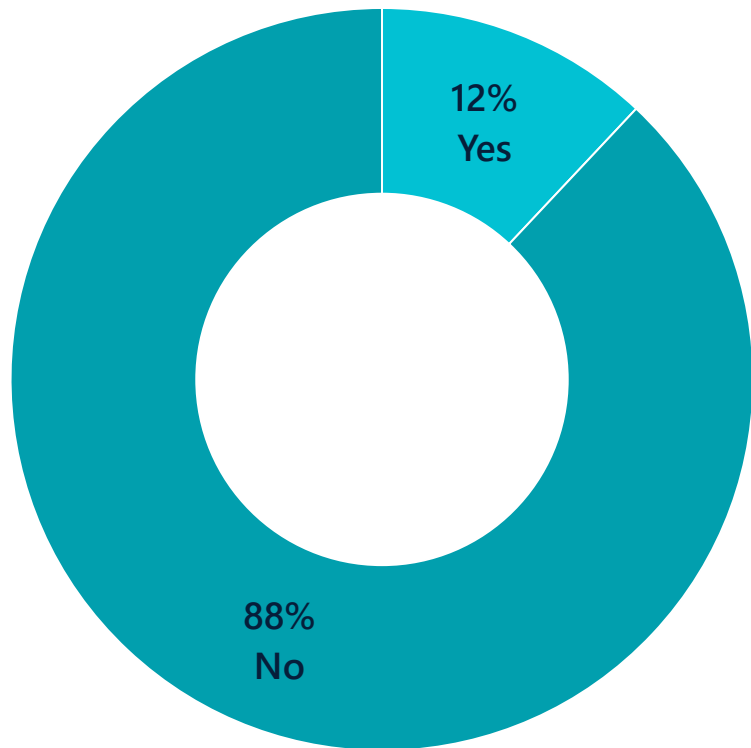
Rural Character Support



Do you generally support policies that would maintain the rural character of this community?

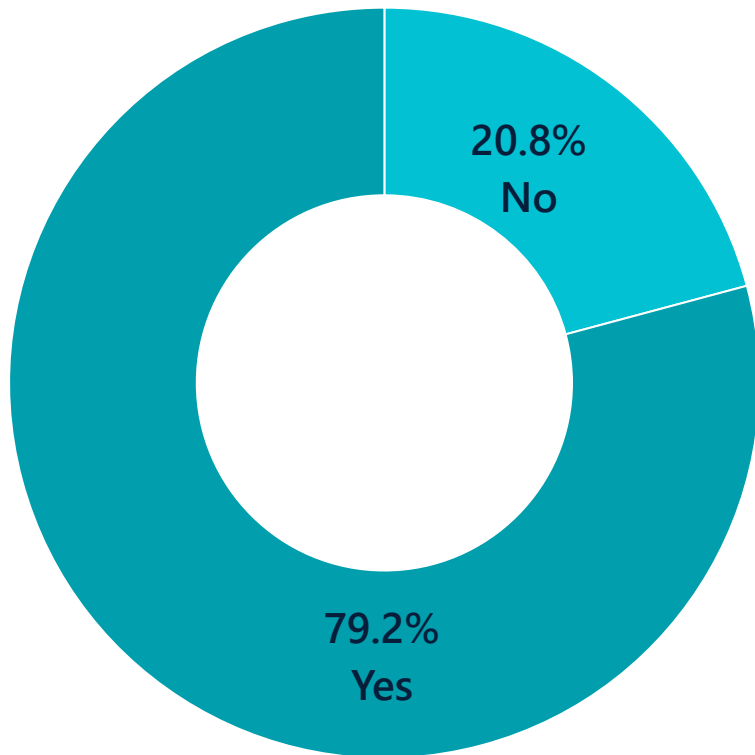
 96% Support

Are Boundary Changes Needed?



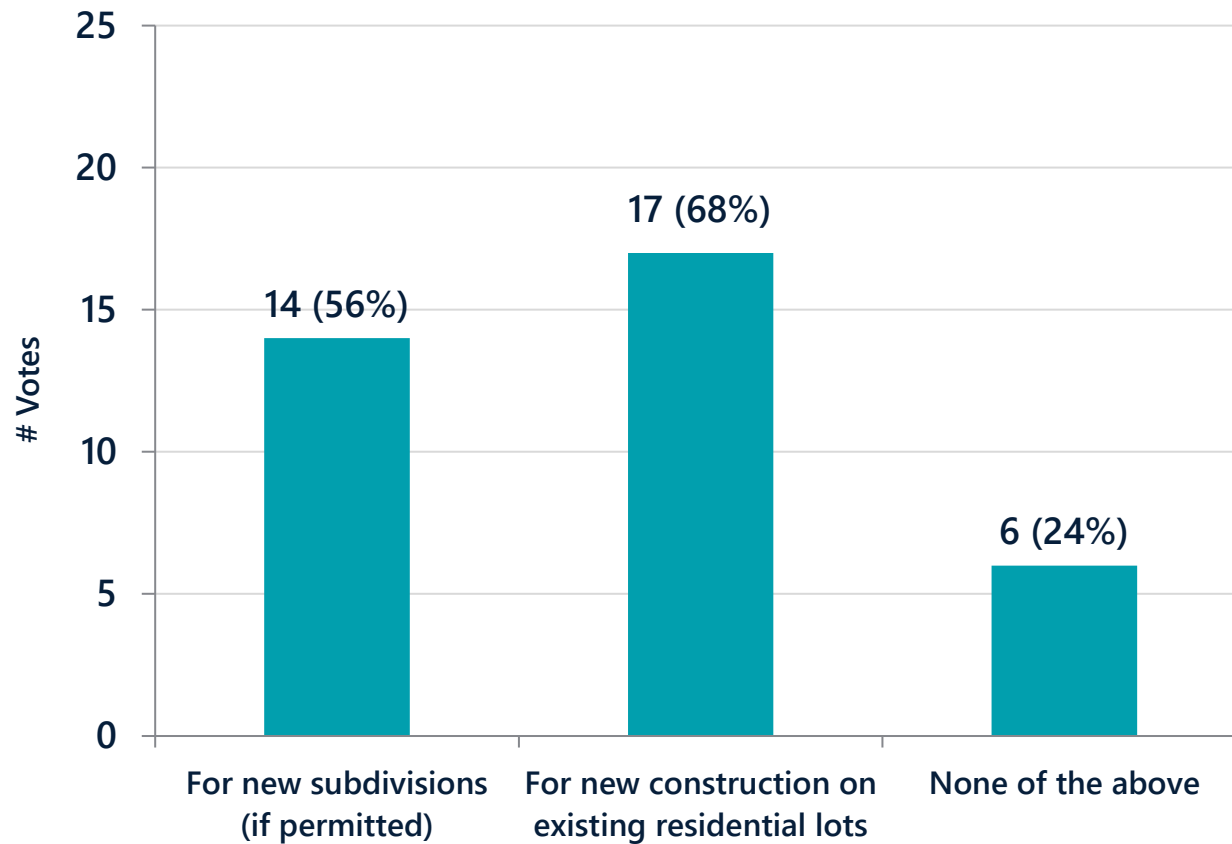
- One opt-out request
- 2 comments to include environmental lands outside the current boundary

Support Transition Standards



Would you like to see specific transition standards (like landscape buffers) for development within or adjacent to the Enclave?

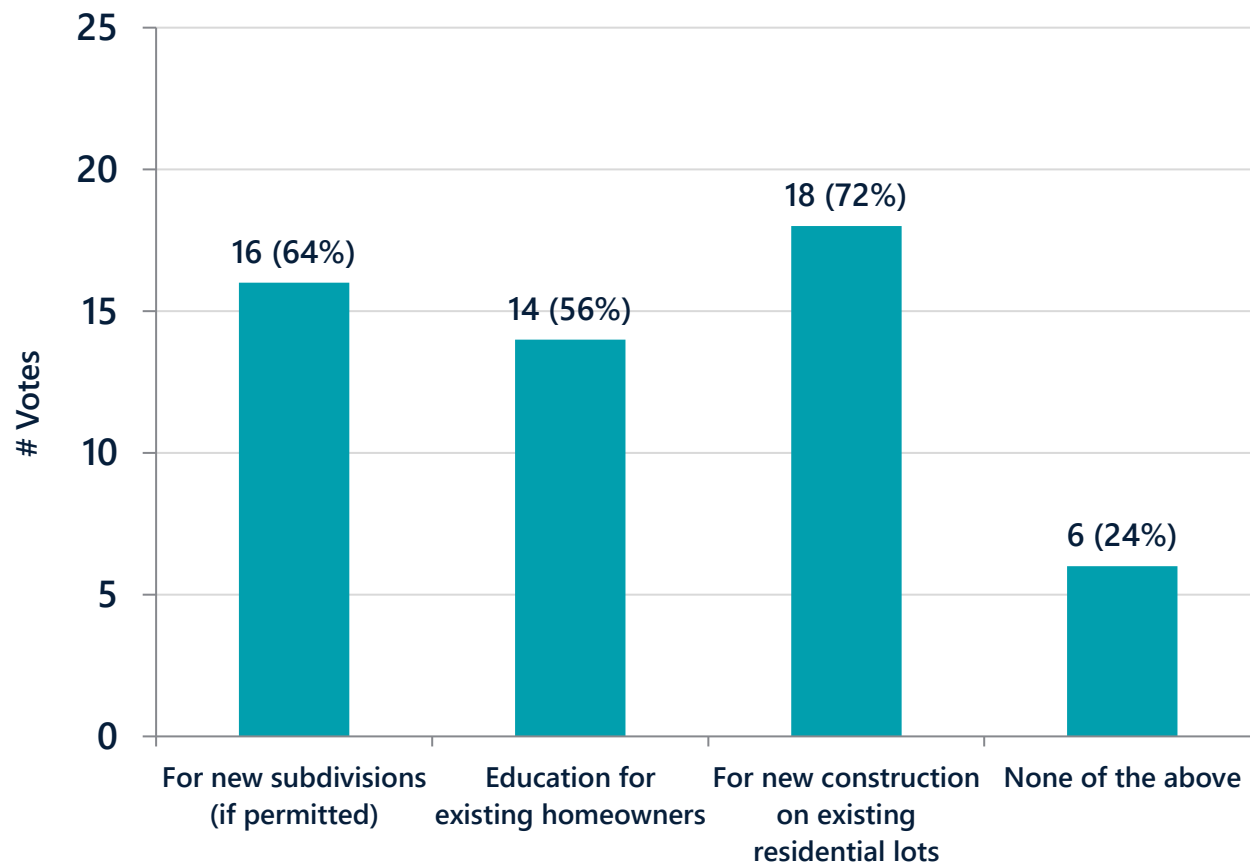
Rural-Style Fencing



Percentages based on total respondents (25)

Should there be standards to require rural-style fences and restrict the construction of walls along property lines within the boundary to maintain rural character? (Select all that apply)

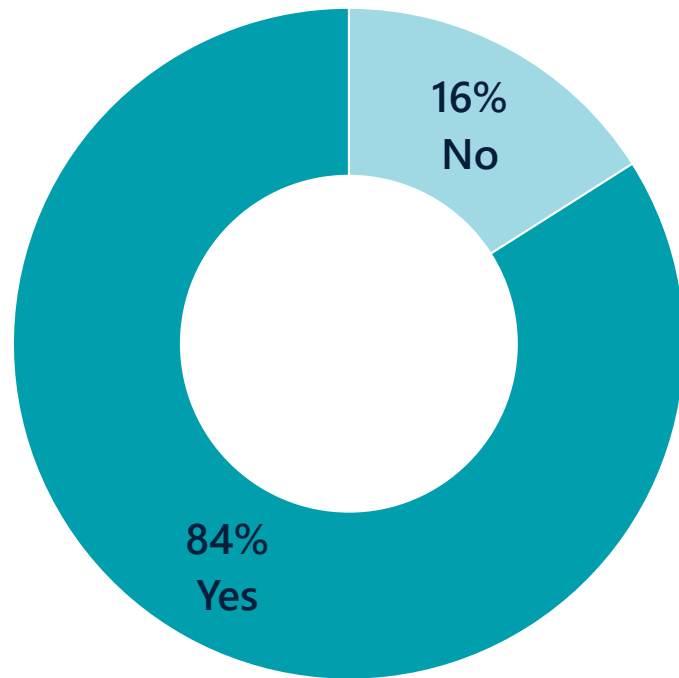
Support for Dark Sky Lighting Standards



Percentages based on total respondents (25)

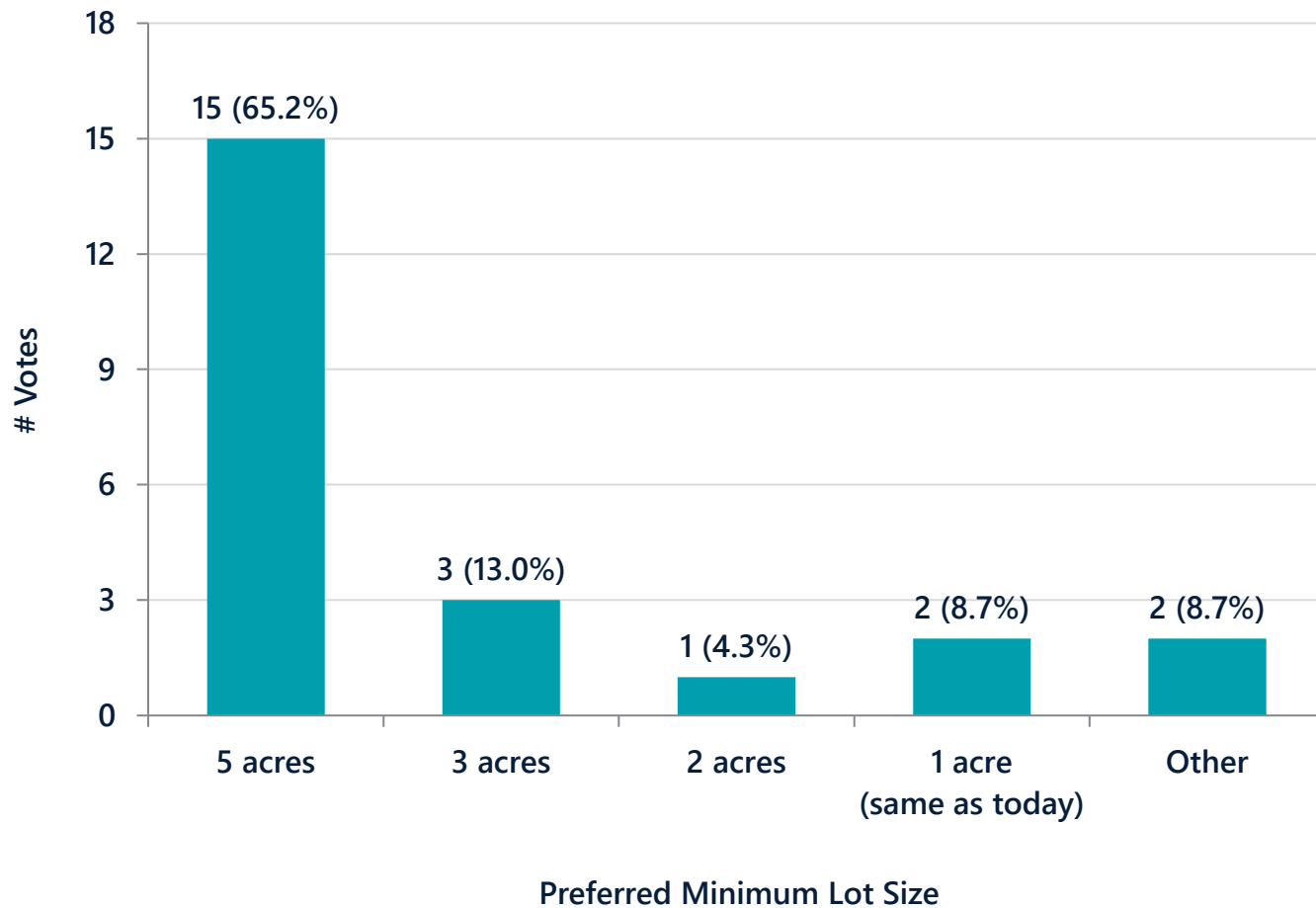
Would you support lighting standards to reduce light pollution? (Select all that apply)

Support for Limiting Expansion of Urban Services



Do you support limiting the expansion of urban services within the study area? (paved roads, utilities)

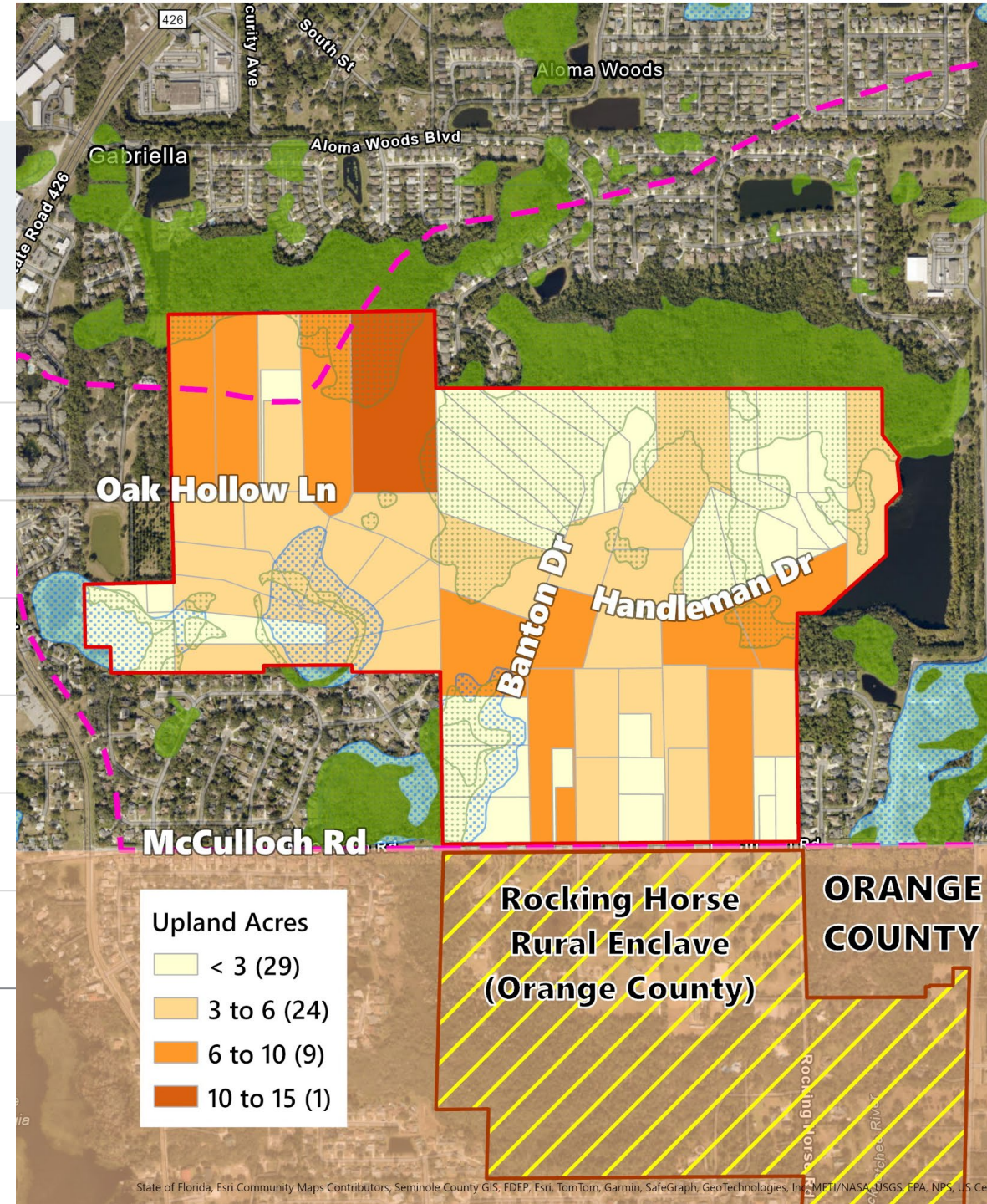
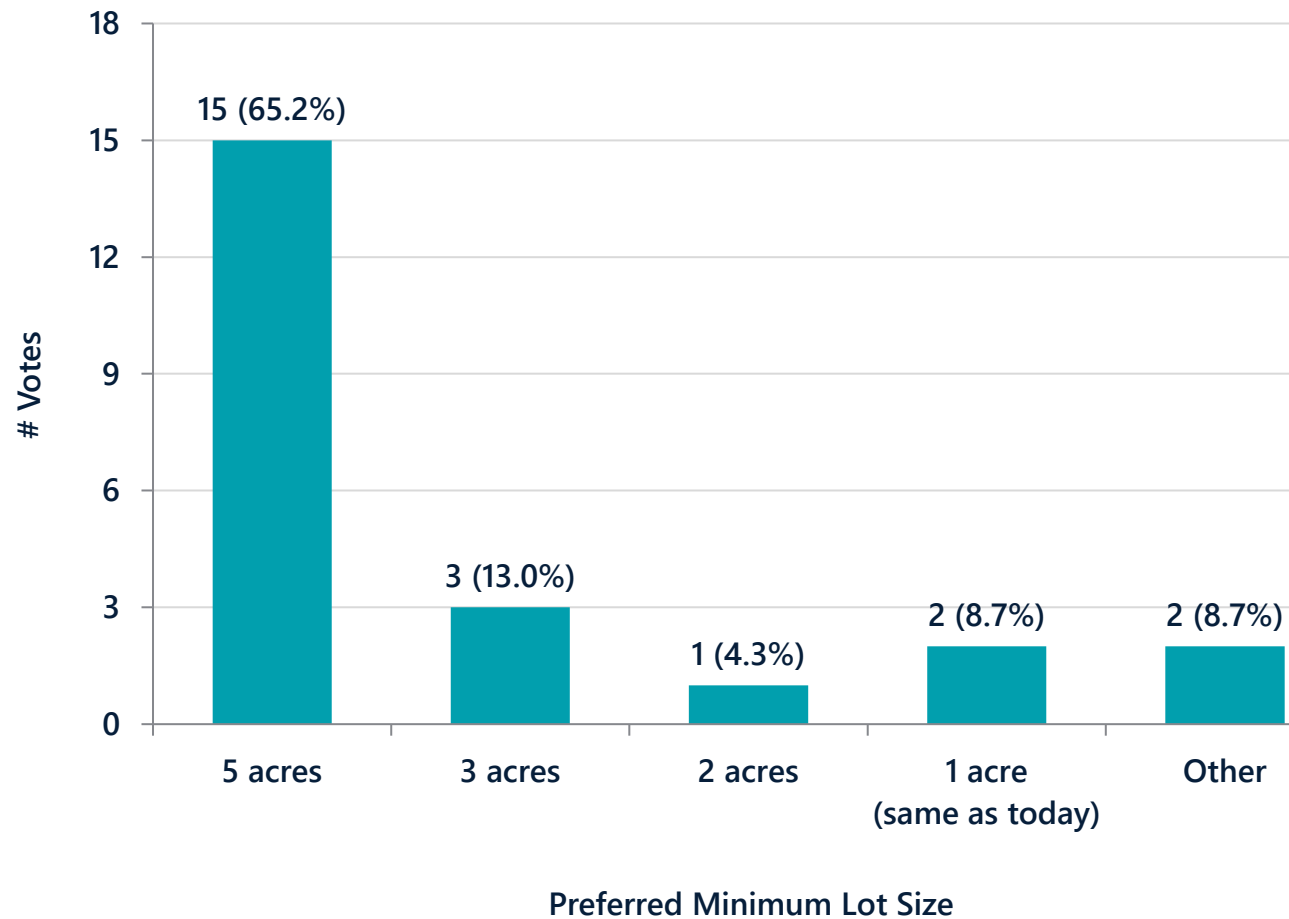
Minimum Lot Size Preference



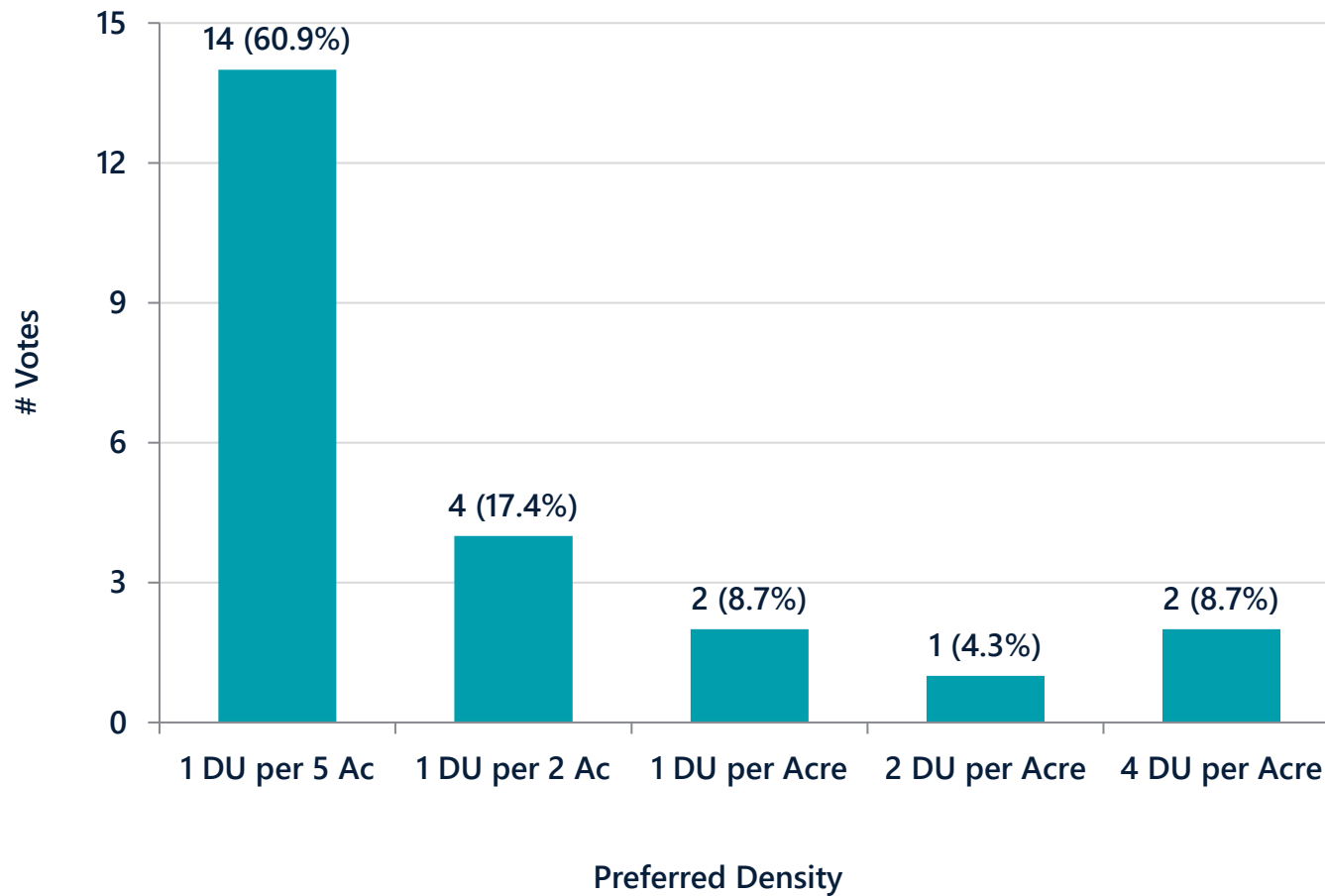
- Average Lot Size: 3.64 Ac Upland
- Median Lot Size: 3.26 Ac Upland
- “Other” Responses include: 2.5 Ac

< 1 Acre	12 (19%)
≥ 1 & < 2 Acres	10 (16%)
≥ 2 & < 3 Acres	7 (11%)
≥ 3 & < 5 Acres	21 (33%)
≥ 5 Acres	13 (21%)

Minimum Lot Size Preference

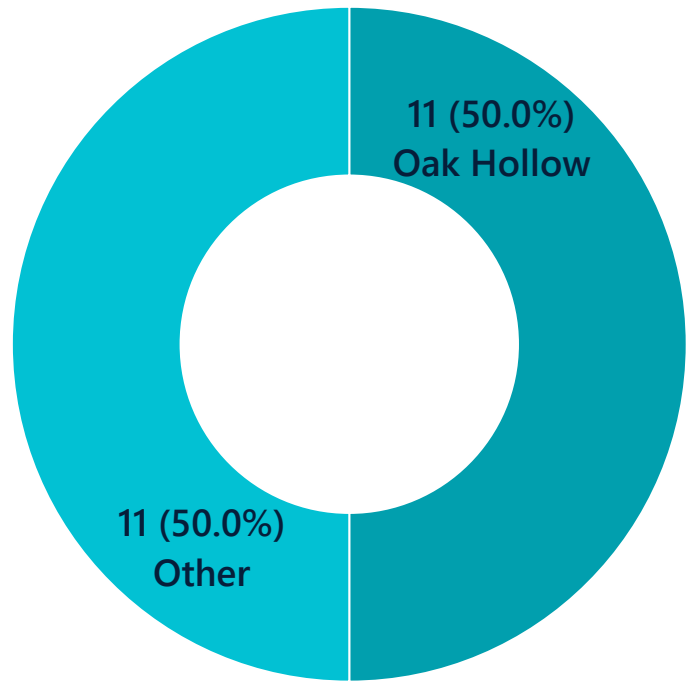


Maximum Density Preference



Today's standard is LDR
(4 DU per Acre)

Proposed Names for Rural Enclave



If the Rural Enclave is adopted for this area, what do you think the name should be?

■ “Other” popular entries include:

- The Iron Bridge
- The Hollows

Recommended Policies

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Policy Recommendations

Overview:

■ Development capacity

- Lot size
- Rezoning possibilities
- Environmental protection

■ Transition standards

■ Design character and compatibility

- Rural Fencing
- Dark Sky lighting
- Rural and Natural Landscaping
- Signage

Recommendations: Lot Size and Capacity

■ Implementation:

- Comprehensive Plan or LDC Overlay

■ Control of lot sizes and development capacity

- Specify minimum lot size: 5 acres within overlay
- Specify A-1 as only compatible zone within overlay (existing zoning)
- Exempt accessory structure size limits similar to A-3/A-5
- Require a special exception for elementary schools (public or private)

■ Consider enhanced environmental standards

- No filling or grade level change permitted within the 100-year floodplain as part of a preliminary subdivision plan.
- No wetland impacts permitted as part of a preliminary subdivision plan.

Recommendations: Lot Size and Capacity

■ Existing standards for lot split:

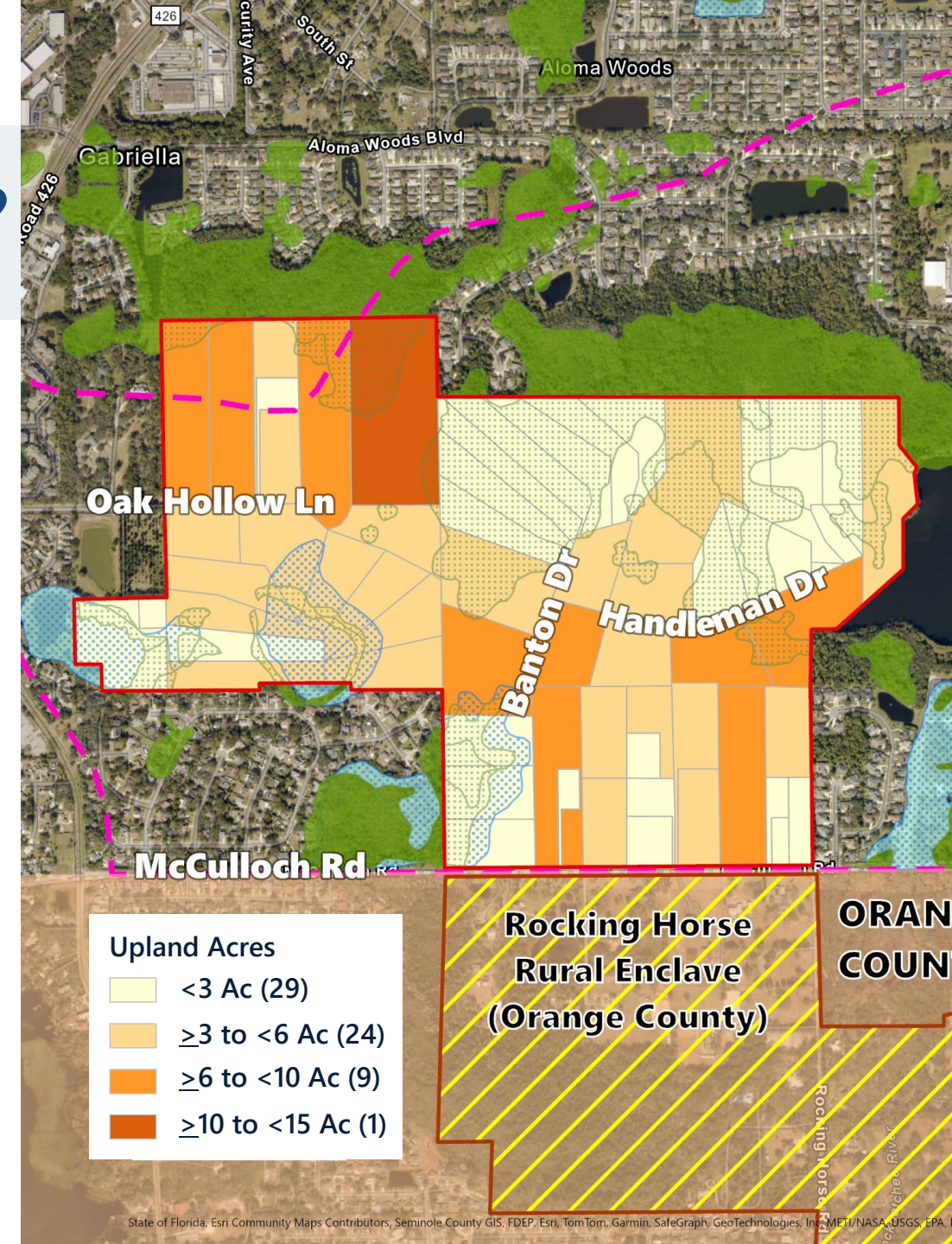
- Parcel of record prior to July 28, 1970.
- 20 feet of frontage on a public right-of-way for each lot
- Each new lot meets all zoning requirements, including minimum buildable lot area above the 100-year flood prone elevation, lot width, etc.
- Existing structures must meet the minimum setback requirements after the split without a variance.

■ Existing standards for new subdivisions:

- Provide each lot with satisfactory and permanent access to an existing public street per engineering manual standards.

Likelihood of New Subdivisions?

- What is a subdivision?
 - The creation of 3 or more lots
- Highly limited opportunities at or adjacent to boundary
- Why have subdivision standards?
 - Abundance of caution for low probability scenarios or future boundary changes
 - Potential applicability to other rural enclaves



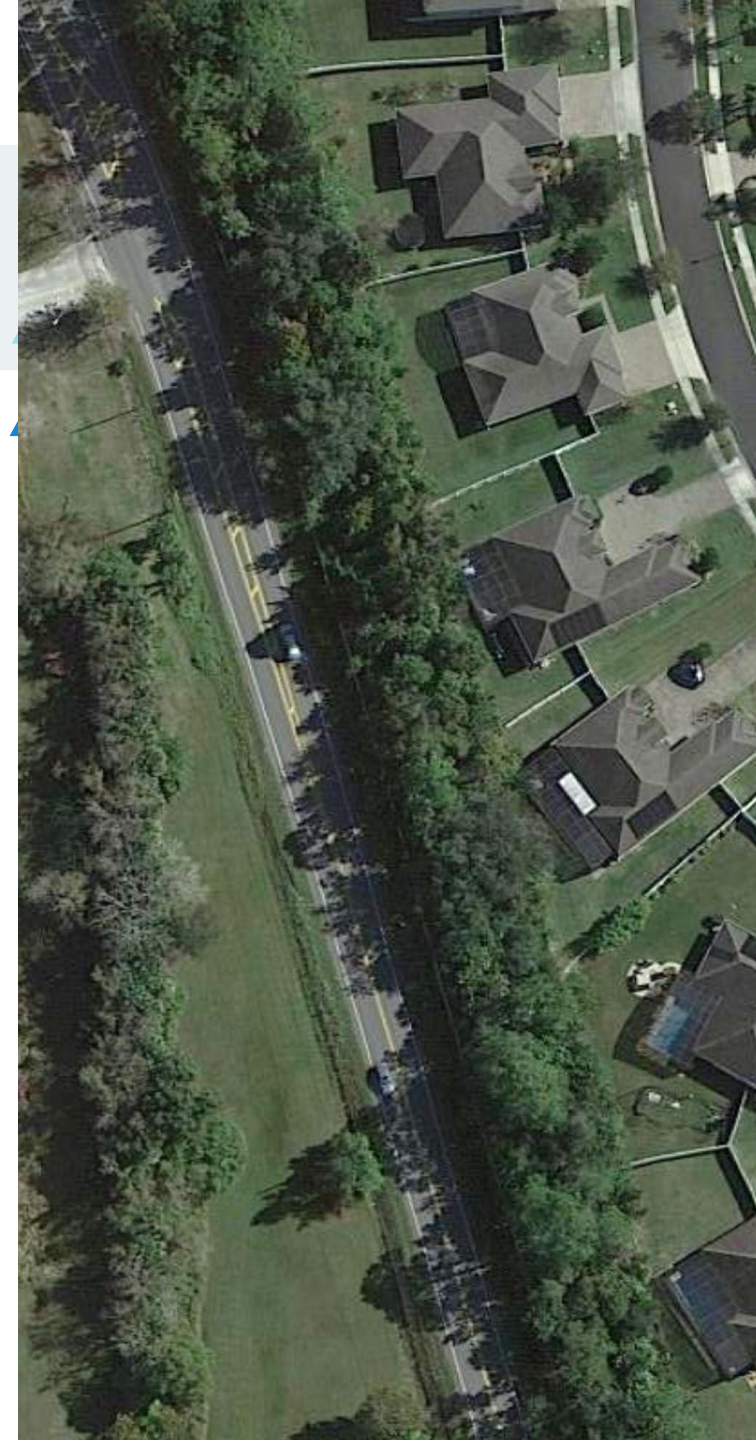
Orderly Transition

■ Applicability:

- Properties adjacent to the boundary
- Should any property choose to opt-out

■ Criteria:

- Access to a paved road built to county standards (ROW or tract) and sewer
- Enhanced buffers – 10 feet; 2.7 plant units per 100 ft
 - 3 canopy trees per 100 feet plus shrubs and groundcover
- Design criteria: fencing, lighting, signage, landscaping



Design Requirements: Rural Fencing

Existing standards

- Rural Fencing in A-1 (and other Agricultural Zones):
 - Open split rail only within front setback. (Bona fide Ag exempt)
 - “Chicken wire” may be added for animal containment.

Additional Proposed Standards

- Prohibit masonry walls for rear fencing
- Apply rural fencing requirements to any development including subdivisions within or adjacent to rural enclave.



Design: Rural Signage

■ Applicability:

- Non-residential uses or subdivisions

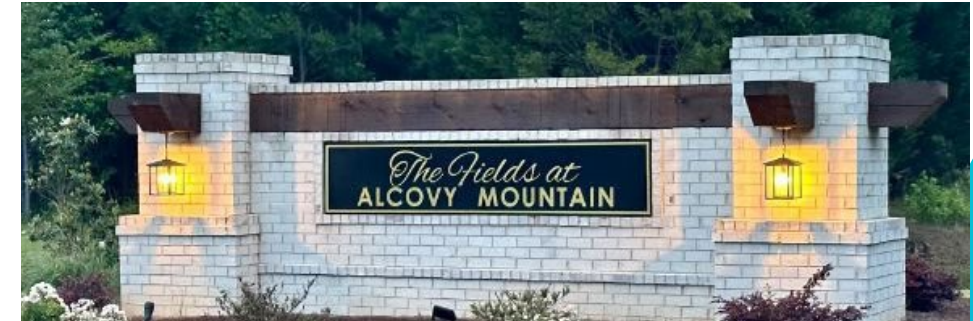
■ Sign Types and Sizes

- Ground-based monument signs, post signs
- 6ft high x 9 ft. wide or less, 10 sq. ft. copy area

■ Lighting: external downlit / backlit

■ Materials:

- Historic and modern farm-style materials
- Wood, Siding (cemetitious), White brick, Metal



Images: Woodland Manufacturing

Design Requirements: Dark Sky

- Require Dark Sky lighting fixtures for new construction
 - New homes / buildings
 - Significant remodels or expansions requiring a permit
 - New subdivisions (if applicable)
- Recommend for new street lighting
- Educational materials for existing homeowners
 - Character benefits
 - Wildlife benefits
 - Neighborhood / personal benefits

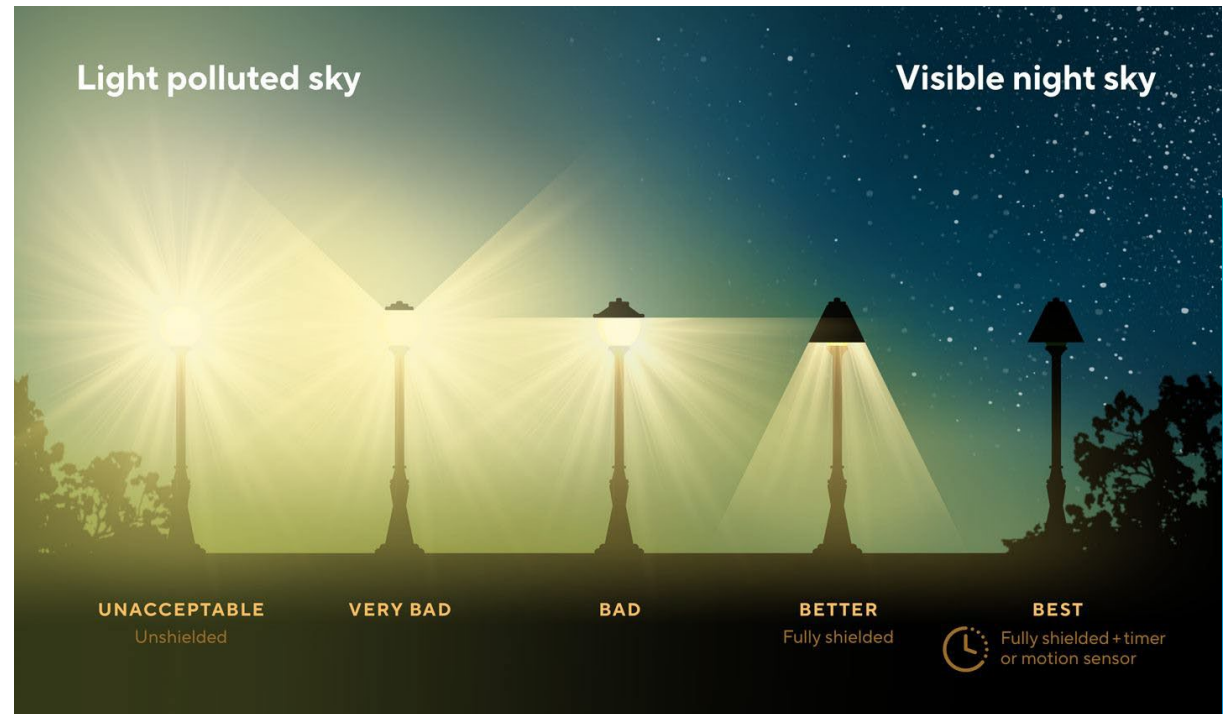


Image: DarkSky International

Design: Landscape Standards

Common areas

- Florida-friendly already required today
- Trees limited to native or edible types
- Naturalistic planting plan
 - No manicured hedges
 - At least 40% of stems are native

Single family lots & common areas

- No St. Augustine grass on new construction (high water usage)



Cherry Lake Demonstration Garden

Limitations on Urban Services

■ Rural Enclaves Services Policy

- Policy to discourage or deprioritize extension of urban services into Rural Enclaves
 - Primarily new paved roads; sewer line extensions.
- Trade-off:
 - Maintain low density and therefore limit tax base revenue
 - Limit cost of infrastructure to community



Feedback

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