

Mobile Home Permit Requirements

The following requirements are based on Florida Statute 320 new mobile home installations and repairs, renovations or additions to existing mobile homes. Each project can be different, if there is something not outlined that may be included in your mobile home project please reach out to BPCustomerService@SeminoleCountyFl.Gov for further information.

Who can install a mobile home?

- Florida Statute 320 requires a properly licensed mobile home installer to install all mobile homes. The exception in F.S. 489, for Owner/Builder is referenced in F. S. 320, and does allow a legal fee owner of a property to install their own mobile home as long as all requirements are met such as you cannot sell, lease or rent for one year, and the mobile home must be for your personal use.

Who can repair, renovate or add onto an existing mobile home?

- Any properly licensed Residential, Building or General Contractor may repair, renovate or add onto an existing mobile home. A legal fee owner of the mobile home, and property may also permit, and complete this type of work as long as they comply with the requirements set forth in Florida Statute 489.103(7)(a).

Note: Prior to proceeding with any repair, renovation or addition it is important to understand your mobile homes manufactures warranty. Such activities may make your warranty null and void if not done by the properly certified personnel. It is recommended to reach out to your dealer, and/or mobile home manufacturer prior to proceeding with any repair, renovation or addition.

All listed forms for use in application can be found on the Building Division's Forms and Applications webpage:

<https://www.seminolecountyfl.gov/departments-services/development-services/building/forms-applications>

New Mobile Home Installations Permitting Requirements:

You will initiate your request through Building Permits Online. This is where you will make any online payments for the building submittal and permitting fees as well.

Permit Application Documents Required:

- Permit Application
- Property Appraiser's printout with legal description
- Permit Authorization form – for all applicants
- Recorded Notice of Commencement if job value is greater than \$5,000– prior to first inspection; may be emailed to bpcustomerservice@seminolecountyfl.gov if not uploaded at submittal.

- Historical/Archaeological Form
- Contingency Letter or Septic Permit from Health Department (Septic permit or contingency letter will be required prior to issuance only if on septic.)
- Utility Letter – water and/or sewer if new construction and other than Seminole County's Utilities.
- Arbor Application – if applicable. For arbor questions please call 407-665-7371.

Required Drawings, and/or Supporting Documents:

- Mobile Home Data form completed (attached below)
- Site plan showing the building, setbacks, grading, lot drainage, finish floor elevation, easements, lot dimensions, driveway access, adjacent streets, and house dimensions. Site plan, and/or survey must be signed/sealed, and scalable. Please see our Site Plan and Survey Requirements Information package located on the Building Division's Forms and Applications page.
- Pier/Footing plan to scale
- Tie-down strap plan to scale
- Floor plan Installation manual will be required on-site for field inspection of all new mobile homes

**Existing Mobile Home Repair, Renovation or Addition
Permitting Requirements:**

Permit Application Documents Required:

- Permit Application
- Property Appraiser's printout with legal description
- Permit Authorization form – for all applicants
- Recorded Notice of Commencement if job value is greater than \$5,000 – prior to first inspection; may be emailed to bpcustomerservice@seminolecountyfl.gov if not uploaded at submittal.
- Historical/Archaeological Form
- Contingency Letter or Septic Permit from Health Department (Septic permit or contingency letter will be required prior to issuance only if on septic.)
- Utility Letter – water and/or sewer if new construction and other than Seminole County's Utilities.
- Arbor Application – if applicable. For arbor questions please call 407-665-7371.

Required Drawings, and/or Supporting Documents:

- Signed/sealed plans will be required for any addition, or repairs to the structural members of the mobile home. Interior alterations, or repairs that do not affect the structural members

will not require signed/sealed plans, but require details plans that meet all applicable Florida Building Code requirements.

- For additions – Site plan showing the building, setbacks, grading, lot drainage, finish floor elevation, easements, lot dimensions, driveway access, adjacent streets, and house dimensions. Site plan, and/or survey must be signed/sealed, and scalable. Please see our Site Plan and Survey Requirements Information package located on our website at on the Building Division's Forms and Applications page.
- Details for all proposed foundations, footers and slab systems
- Floor plan showing existing and proposed
- Plans must show/outline all new work, or extension to the current mechanical, electrical or plumbing systems
- Energy Calculations will be required for any addition or change to current conditioned spaces.
- Signed/sealed engineering for any new engineered truss systems
- Florida Product approvals and install guidelines or NOA's for all proposed new or replacement windows, doors, roofing, siding or soffit systems.

Note: Any mobile home located, or being proposed on any property with a defined flood plain may require further documentation and specific requirements based on a completed review of your permit package.

If you have any questions or need guidance on how to submit a permit through our Online Permitting system, please review our Guidelines for Submitting Online for a Permit guide located on the Building Division's Forms and Applications page:

<https://www.seminolecountyfl.gov/departments-services/development-services/building/forms-applications>

Note: All contractors and sub-contractors that are listed on the application, must be current in the County's license database, including certified or registered licenses. A current License Administration Form, worker's compensation insurance, and general liability are required for each listed contractor and sub-contractor prior to issuance.

This is only a guide and may not be all-inclusive for your project.

Installer _____ License # _____

Address of home _____
being installed _____

Manufacturer _____ Length X Width _____

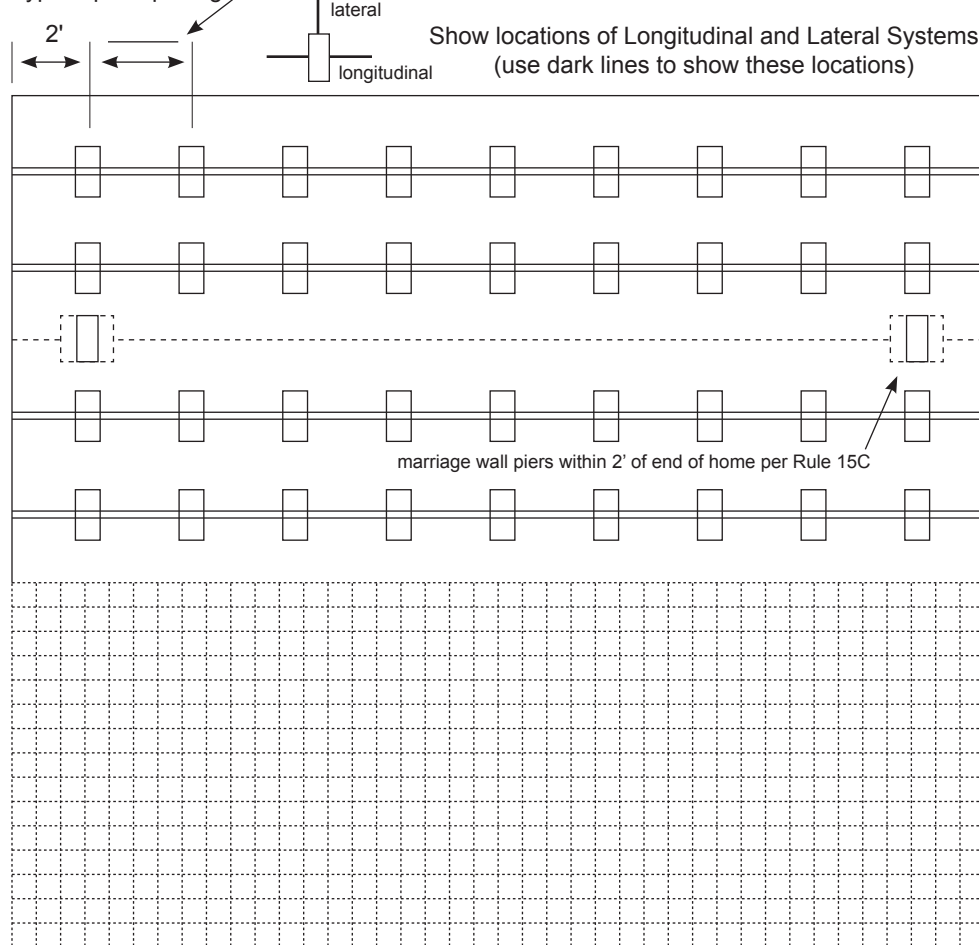
NOTE: If home is a single wide fill out one half of blocking plan

If home is a triple or quad wide sketch in remainder of home

I understand Lateral Arm Systems cannot be used on any home (new or used)
where the sidewall ties exceed 5ft 4in.

Installer's Initials _____

Typical pier spacing



2'

lateral

longitudinal

Show locations of Longitudinal and Lateral Systems
(use dark lines to show these locations)

marriage wall piers within 2' of end of home per Rule 15C

New Home ☐ Used Home ☐

Home to be installed to the Manufacturer's Installation Manual ☐

Home to be installed in accordance with Rule 15-C ☐

Single Wide ☐ Double Wide ☐ Triple/Quad ☐

Wind Zone II ☐ Installation Decal # _____

Wind Zone III ☐ Serial # _____

PIER SPACING TABLE FOR USED HOMES

Load bearing capacity	Footer size (sq. in.)	16" x 16" (256)	18 1/2" x 18 1/2" (342)	20" x 20" (400)	22" x 22" (484)	24" x 24" (576)	26" x 26" (676)
1000 psf		3'	4'	5'	6'	7'	8'
1500 psf		4'6"	6'	7'	8'	8'	8'
2000 psf		6'	8'	8'	8'	8'	8'
2500 psf		7'6"	8'	8'	8'	8'	8'
3000 psf		8'	8'	8'	8'	8'	8'
3500 psf		8'	8'	8'	8'	8'	8'

* interpolated from Rule 15C-1 pier spacing table.

PIER PAD SIZES

I-beam pier pad size _____

Perimeter pier pad size _____

Other pier pad sizes (required by the mfg.) _____

Draw the approximate location of marriage wall openings 4 foot or greater. Use this symbol to show the piers.

List all marriage wall openings greater than 4 foot and their pier pad sizes below.

Opening	Pier pad size
_____	_____
_____	_____
_____	_____

TIEDOWN COMPONENTS

Longitudinal Stabilizing Device (LSD)

Manufacturer _____

Longitudinal Stabilizing Device w/ Lateral Arms

Manufacturer _____

POPULAR PAD SIZES

Pad Size	Sq In
16 x 16	256
16 x 18	288
18.5 x 18.5	342
16 x 22.5	360
17 x 22	374
13 1/4 x 26 1/4	348
20 x 20	400
17 3/16 x 25 3/16	441
17 1/2 x 25 1/2	446
24 x 24	576
26 x 26	676

ANCHORS

4 ft ☐ 5 ft ☐

FRAME TIES

within 2' of end of home
spaced at 5'4" oc ☐

OTHER TIES

	Number
Sidewall	_____
Longitudinal	_____
Marriage wall	_____
Shearwall	_____

PERMIT WORKSHEET

POCKET PENETROMETER TEST

The pocket penetrometer tests are rounded down to _____ psf (or)

Check here ☐ to declare 1000 lb. soil bearing capacity without testing.

X _____ X _____ X _____

POCKET PENETROMETER TESTING METHOD

1. Test the perimeter of the home at 6 locations
2. Take the reading at the depth of the footer.
3. Using 500lb. increments, take the lowest reading and round down to that increment.

X _____ X _____ X _____

TORQUE PROBE TEST

The result of the torque probe test is _____ inch pounds (or)

Check here ☐ to declare 5' anchors without testing.

A test showing 275 inch pounds or less will require 5 foot anchors.

Note: A state approved lateral arm system is being used and 4ft. anchors are allowed at the sidewall locations. I understand 5 ft. anchors are required at all centerline tie points where the torque test reading is 275 or less and where the mobile home manufacturer may requires anchors with 4000lb holding capacity.

_____ Installer's initials

ALL TESTS MUST BE PERFORMED BY A LICENSED INSTALLER

Installer Name _____

Date Tested _____

Electrical Information

A licensed mobile home installer can connect electrical conductors including the bonding wire between multi-wide units. An electrical contractor's license is required to build the service and connect the home to the main power source.

Plumbing Information

A licensed mobile home installer or a plumbing contractor can connect all sewer drains to an existing sewer tap or septic tank. In addition the installer can connect potable water supply piping to an existing water meter, water tap, or other water supply system.

Site Preparation

Debris and organic material will be removed and site prepared for adequate drainage? ☐

Water drainage: Natural ☐ Swale ☐ Pad ☐ Other _____

Fastening multi wide units

Floor: Type Fastener: _____ Length: _____ Spacing: _____

Walls: Type Fastener: _____ Length: _____ Spacing: _____

Roof: Type Fastener: _____ Length: _____ Spacing: _____

For used homes a min. 30 gauge, 8" wide, galvanized metal strip will be centered over the peak of the roof and fastened with galv. roofing nails at 2" on center on both sides of centerline.

Gasket (weatherproofing requirement)

I understand a properly installed gasket is a requirement of all new and used homes and that condensation, mold, mildew, and buckled marriage walls are a result of a poorly installed or no gasket being installed. I understand a strip of tape will not serve as a gasket.

Installer's Initials _____

Type gasket _____

To Be Installed:

☐ Between Floors

☐ Between Walls

☐ Bottom of ridgebeam

Weatherproofing

The bottomboard will be repaired and/or taped? Yes ☐

Siding on units will be installed to manufacturer's specifications? Yes ☐

Fireplace chimney will be installed so as not to allow intrusion of rain water? Yes ☐ N/A ☐

Miscellaneous

Skirting to be installed? Yes ☐ No ☐

Dryer Vent to be installed outside of skirting? Yes ☐ N/A ☐

Downdraft Range vent will be installed outside of skirting? Yes ☐ N/A ☐

Drain lines will be supported at 4 foot intervals? Yes ☐

Electrical crossovers will be protected? Yes ☐

Other: _____

Installer verifies all information given with this permit worksheet is accurate and true based on the manufacturer's installation instructions and/or Rule 15C-1&2

Installer Signature _____ Date _____